



Cotswold
Fife, Oxfordshire

Cotswold

A traditional Cotswold village house with superb views to the rear

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- Entrance Hall
- Utility room
- Cloakroom
- Kitchen/Breakfast Room
- Sitting Room
- Dining Room
- 4 Double Bedrooms (1 en-suite)
- Family Bathroom
- Gardens
- Garage / workshop
- Greenhouse
- Wooden shed
- Ample Off Road Parking
- Planning Permission

Stow-on-the-Wold 6 miles, Burford 5 miles, Witney 12 miles, Cheltenham 22 miles, Cirencester 23 miles, Oxford 26 miles, Kingham Railway Station 4 miles (75 minutes to London Paddington). Distances and times are approximate.

Situations & Amenities

Cotswold is located in the charming village of Fifield in the heart of the Cotswolds surrounded by glorious rolling countryside.

Fifield is in an Area of Outstanding Natural Beauty and is conveniently close both to the historic towns of Burford (5 miles) and Stow-on-the-Wold (6 miles), which provide a wide range of daily shopping requirements. The main cultural and larger shopping centres of Witney, Cheltenham, Cirencester and Oxford are all within driving distance.

The A424 provides links to the A40 and M40 as well as the M5 at Cheltenham. The East Midlands and Birmingham Airport are accessible to the north by means of the Fosse Way. There are regular train services to Oxford, London Paddington from Kingham Station (4 miles). Education in the area is excellent with well-reputed primary and secondary schools both state and private.

Description

Constructed of Cotswold stone under a tiled roof with a rendered extension at the rear, Cotswold is a well-appointed detached family house with generous accommodation. Set back from the lane in this sought after village, it has landscaped gardens and benefits from ample off road parking. Planning permission was granted September 2013 "for the erection of replacement single storey extension and to replace flat roof

with pitched roof". Built in a traditional style, the accommodation is well presented and arranged over two floors complemented by interesting features including some exposed beams and stone mullioned windows. A particular feature of the property are the wonderful views over the adjoining countryside to the rear which offers a network of footpaths and bridleways to enjoy.

Accommodation

GROUND FLOOR:

Entrance Hall with doors to sitting room and dining room. Staircase to first floor. **Sitting Room** with mullion window and French doors to the front garden. Cotswold stone fireplace with LPG gas wood burning stove and ceiling beams. Wooden double glass doors through to **Kitchen** Fitted with a range of wooden oak wall and base units with granite effect roll worktops. Integral dishwasher, 4 ring halogen top, double fan assisted oven, extractor fan. Sink and drainer with mixer tap and a separate drinking water tap. Space for fridge-freezer. Tiled flooring. Door through to Utility and Dining Room **Utility room** Fitted base wooden oak cupboards with wooden top. Window and door with tiled covered porch leads to rear garden. Tiled flooring, door to boiler room which houses the oil fed boiler and storage. Wooden coat hooks. **Cloakroom** with WC. **Dining Room** with window to rear. Storage.

FIRST FLOOR

Landing: Loft access with window to side garden. Door to laundry cupboard. Further down landing door to cupboard which houses the hot water tank. **Bedroom 1** a double with dual aspect window, with views. **Bedroom 2** a double overlooking the rear garden. **Bedroom 3** a double overlooking the front garden with built in wardrobe. **Family Bathroom** with bath, washbasin and WC. **Master Bedroom** with double mullioned windows facing front garden. Wooden beam. Built in wardrobes. Door through to **En-Suite Shower Room** with tiled flooring, wash hand basin WC, heated towel rail and walk in shower with drencher head and shower walls.

Outside

Cotswold is set back from the lane and fronted by a lawned garden with seasonal borders filled with bulbs and shrubs with a gravel driveway to the side. In the spring a mature wisteria covers the front of the house. There is stone paving by the front door and French doors from to the sitting room. To the rear a paved area by the Garage offers generous parking and a trellis fence covered by climbers screens the oil tank and recycling bins. Fencing and hedging border the rear garden which has wonderful far reaching views. There are low steps to a path leading to the green house, wooden shed and lawned area. To the side of the Garage/Workshop is a rose covered pergola leading through to the garden with a fishpond and waterfall. There are some lovely mature trees in the garden including an apple tree, oak tree, copper beech and an ash tree with seasonal planting and shrubs. There are two compost heaps and a purpose built rainwater tank.



Disclaimer

These particulars, including any plan, are a general guide only and do not form any part of any offer or contract. All descriptions, including photographs, dimensions and other details are given in good faith but do not amount to a representation or warranty. They should not be relied upon as statements of fact and anyone interested must satisfy themselves as to their correctness by inspection or otherwise. Neither Butler Sherborn nor the seller accepts responsibility for any error that these particulars may contain however caused. Neither the partners nor any employees of Butler Sherborn have any authority to make any representation or warranty whatsoever in relation to this property. Any plan is for layout guidance only and is not drawn to scale. All dimensions, shapes and compass bearings are approximate and you should not rely upon them without checking them first. Please discuss with us any aspects, which are particularly important to you before travelling to view this property. LH2015



Fixtures & Fittings

Carpets and curtains and those items mentioned in these particulars are included in the sale.

Tenure and Possession

The property is for sale freehold.

Services

Mains water, electricity and drainage. Oil central heating. LPG gas wood burning stove. Telephone subject to BT transfer regulations.

Local Authorities

West Oxfordshire District Council, Wood Green, Witney, Oxfordshire OX28 1NB, Tel: 01993 702941. Band F.

Planning Permission

Planning permission - No 13/1311/P/FP - "for the erection of replacement single storey extension and to replace flat roof with pitched roof"

Viewings

Strictly by appointment. Butler Sherborn, Stow-on-the-Wold T. 01451 830731 or The London Office T. 0207 839 0888. E-mail: stow@butlersherborn.co.uk

Postcode

OX7 6HL


Directions

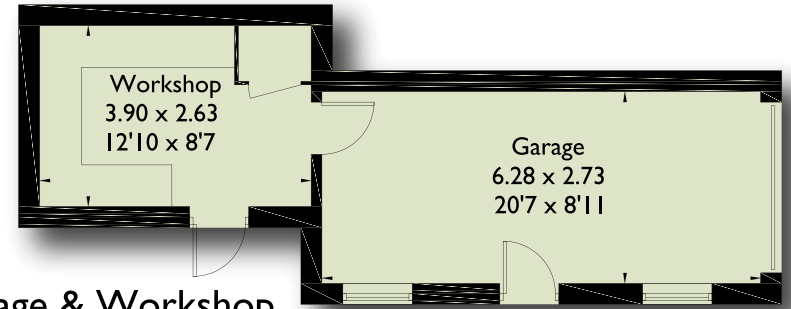
From Stow on the Wold, take the A424 towards Burford. Approximately 5 miles along the A424 take the left hand turning signposted Fifield (opposite the Merry-mouth Inn). Turn right at the crossroads and then go over next crossroads into High Street. Cotswold can be found half way down on the left hand side before the village hall.



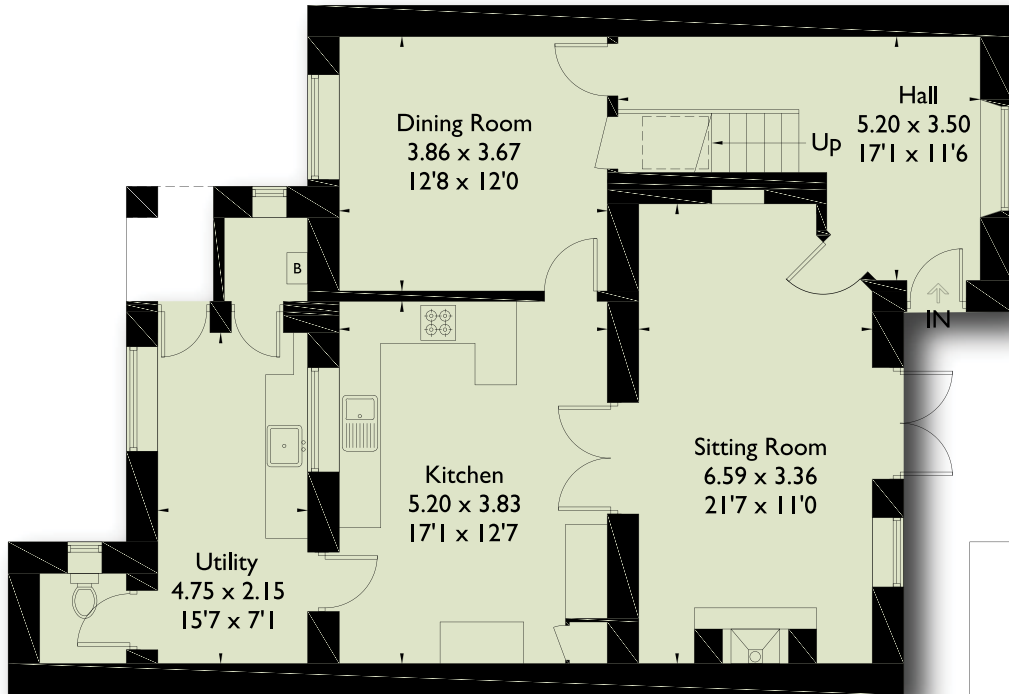
Energy Efficiency Rating	
Current	Potential
Very energy efficient - lower running costs	
(92 plus) A	94
(81-91) B	
(69-80) C	
(55-68) D	
(39-54) E	
(21-38) F	
(1-20) G	
Not energy efficient - higher running costs	
	46

Approximate Gross Internal Area = 164.4 sq m / 1770 sq ft
 Garage & Workshop = 27.7 sq m / 298 sq ft

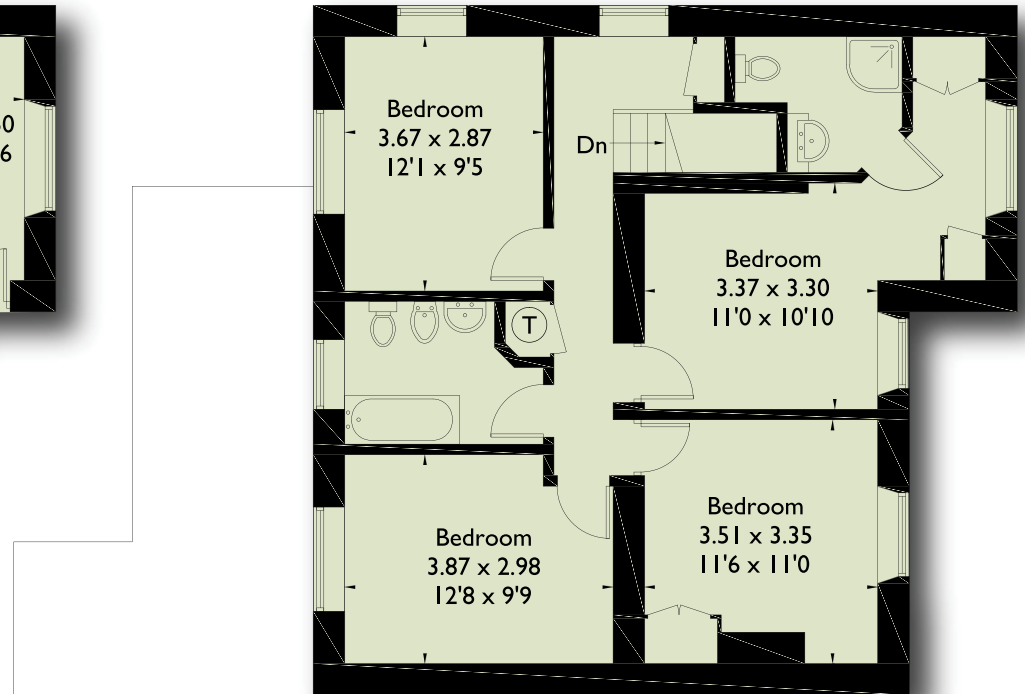
 = Reduced headroom below 1.5m / 5'0"



Garage & Workshop
 (Not Shown In Actual
 Location / Orientation)



Ground Floor



First Floor

